

DATE: 31st JULY 2019

BUILDING
SURVEY REPORT ON:

WARSOP TOWN HALL, CHURCH STREET,
WARSOP, NG20 0AL.

Prepared by: *Chandlers Commercial Ltd*



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31ST JULY 2019

**BUILDING SURVEY REPORT
ON PREMISES KNOWN AS**

Warsop Town Hall, Church Street,

Warsop, NG20 0AL.

ON BEHALF OF

Warsop Parish Council

Date of Inspection

Wednesday 10th July 2019

Prepared by

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Chandlers Commercial Ltd

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INSTRUCTIONS AND CAVEATS		SERVICES	
1.00	GENERAL DESCRIPTION	15.00	ELECTRICAL INSTALLTION
2.00	CONSTRUCTION	16.00	FIRE DETECTION AND ALARM
	EXTERNAL	17.00	GAS / HEATING INSTALLATION
3.00	ROOFS	18.00	CONCLUSION
4.00	PLUMBING AND RAINWATER GOODS		
5.00	MAIN WALLS	APPENDICES	
6.00	DOORS / WINDOWS	A	PHOTOGRAPHS
7.00	EXTERNAL WORKS	B	PLANNED MAINTENANCE PROGRAMME
	INTERNAL		
8.00	ROOF COVERING/ STRUCTURE		
9.00	CEILINGS		
10.00	WALLS		
11.00	FLOOR / STAIRS		
12.00	INTERNAL WOODWORK / DOORS		
13.00	SANITARY ACCOMMODATION		
14.00	KITCHEN		

Instructions were received from Amanda Cooper on behalf of Warsop Parish Council to undertake an inspection of the premises and to prepare a report upon the general condition and the major defects on the premises known as:-

Warsop Town Hall,
Church Street,
Warsop, NG20 0AL.

Our inspection was undertaken whilst the premises were occupied with some areas of the property obscured by carpets furniture etc.

We will lift accessible sample loose floorboards and trap doors, if any, which are not, covered by heavy furniture, plywood or hardboard, fitted carpets or other fixed floor coverings. We will not attempt to raise fixed floorboards without permission. We will not move heavy or fragile furniture.

We will inspect the roof spaces if there are available hatches. Our surveyor will have a ladder of sufficient height to gain access to a roof hatch or to a single storey roof not more than 3.0m (10 feet) above the floor or adjacent ground. It might not therefore be possible to inspect roofs above this level, in such cases pitched roofs will be inspected with binoculars.

The inspection will not include boundaries, hard / soft landscaping and outbuildings. Specialist leisure facilities such as swimming pools, tennis courts and animal enclosures will not be inspected. We will not specifically survey for invasive plant species ie Japanese knotweed, however if any plants appear suspect they will be noted in the report.

Pre 1970's properties may have lead incoming water mains, we will not test the water, electricity, gas, air conditioning or drains serving the premises but we will inspect the fittings, surfaces of pipes and wires and will make comments upon the type and standard of installations where possible. Manhole covers will be lifted where accessible and practicable but no tests will be applied unless previously agreed. Our report will not give you the detailed information that you would obtain if the services were tested but testing will be recommended where we consider it appropriate.

We will identify any areas which would normally be inspected but which were unable to be inspected and indicate where we consider that access should be obtained or formed and furthermore we will advise on possible or probable defects based on evidence from what we have been able to see.

We will not carry out any tests for the presence of asbestos , lead, high alumina cement, calcium chloride or any other deleterious substances. No enquiries regarding mining, geological surveys or previous land use will be made by us and we will not undertake investigations in respect of radon gas or methane. We will refer to any matters we observe which we think might give cause for concern and we will recommend that a specialist environmental investigation and audit be undertaken if we believe it is appropriate. We consider it prudent for your solicitor to obtain a mining report and to make enquiries with the Local Authority on your behalf in respect of landfill and other previous land uses which may significantly affect the property.

We will assume that the property is not subject to any unusual or especially onerous restrictions or covenants which apply to the structure or affect the reasonable enjoyment of the property. We will assume that all By-laws, Building Regulations and other consents required have been obtained. In the case of new buildings and alterations and extensions which require statutory consents or approvals we will not verify whether such consents have been obtained. Any enquiries should be made by you or your legal advisers. Drawings and specifications will not be inspected by us. The surveyor will assume that the property is unaffected by any matters which would be revealed by a local search and replies to the usual enquiries or by a statutory notice and that neither the property nor its condition, its use or its intended use is or will be unlawful.

Our report will be for the sole use of the person to whom it is addressed and will be confidential to the client and his/her professional advisers. Any other persons rely on the report at their own risk and no liability will be accepted by us for any loss sustained by any third party. All references to the left hand and right hand are made as if one were facing the front elevation of the main building, viewed from the road.

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

1.00 General Description

The property is a three storey (including cellar) Parish Council building located in the north Nottinghamshire village of Warsop.

The accommodation consists of:

The ground floor consists of a ground floor entrance door leading into a hall with reception, Parish Office and means of escape route to the right hand side and office accommodation, store and sanitary accommodation to the rear single storey part of the building facing onto Wood Street.

There are stairs leading to the first floor which provides access to office accommodation, Council Chamber and rooms used by the police.

To the rear of the property there is a car park, with derelict outbuildings including derelict public sanitary accommodation to the right hand side

The date plaque states the building was opened in 1934, however perusal of the O.S. maps of the area, has shown that the property that buildings were located on the site prior to this date.

The property was inspected on Wednesday 10th July 2019, at the time of the survey the weather was warm and dry.

2.00 Construction

I have no reason to believe that the foundation design does not consist of concrete foundations taken down to a suitable level, however without an intrusive survey it is not possible to confirm this.

The roof to the main building is constructed with a pitched roof, finished with Welsh slate supported on a traditional roof structure of steel and softwood.

The ground floor is constructed with a combination of concrete floor slab and suspended concrete floor. The first floor has a suspended concrete floor construction.

The external walls are constructed in a combination of cavity external wall and solid masonry, both of which have a facing brick finish.

Windows have painted softwood sub frames with painted steel frames and painted feature doors and frames.

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description

Defect / Condition

Image

External

3.00 Roofs Welsh slate roof covering in a hip roof configuration to the two storey building with ridge tiles bedded on mortar. Painted softwood fascia's and soffits. Parapet wall finished with copings to the front and the left hand side of the property over the main entrance. Lead valleys visible to the main roof and lead flashings at abutments. Viewed from ground level there is a flat roof area behind the parapet wall over the front entrance that appears to be finished with felt that has been subsequently painted. There is a brick chimney protruding through the left hand roof slope. There is a access hatch to the left hand roof slope that is accessible from the roof void. Viewed from ground level the hatch is finished in felt. Slate roof covering to the rear single storey part of the building in a hip roof configuration with lead flashings between the roof covering and the rear wall of the two storey building. There is a flat roof over a store building to the rear of the property adjacent to the car park area that is finished with felt. Glazed roof finish over part of the external passage. Asphalt roof covering to the flat roofs to the immediate rear of the main building with lead flashings at abutments and roof lanterns to the rear Asphalt roof areas.

Slates have been cut at the hips, lead has been inserted in places where there are slipped / missing slates i.e. the rear right corner of the roof. Viewed from ground level decoration is poor to the painted softwood fascia's and soffits which may be rotten in places. Staples have been used to hold the felt roof covering over the small section of flat roof in place. Viewed from ground level the left hand chimney has a flue outlet to the top and lead flashings at abutments. There is a vent pipe projecting through the rear single storey roof covering. The felt flat roof has standing / ponding water and no solar reflective finish. Felt roof coverings have a limited life of circa 15 years. The lack of solar reflective finish and / or standing / ponding water may cause the felt to tear causing premature failure in the roof covering. There is standing / ponding water on the Asphalt flat roofs with defective Asphalt in places. The roof lanterns to the rear flat roof area are at the end of their economic life, with corroded metal, flash band temporary flashings and cracked / defective glazing etc. It would be prudent to replace the roof lights in their entirety. There is no roof void ventilation provision to any of the roof voids, this may allow moisture vapour entering roof voids to condense on cold surfaces which may result in damage being caused to the roof structure. It would be prudent to overhaul the roof coverings in their entirety replacing defective ones to ensure satisfactory surface water disposal and to prevent the ingress of moisture into the building.

2,3,4, 13,
14, 16, 19,
20, 21, 23,
24,

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description

Defect / Condition

Image

4.00 Plumbing & Rain Water Goods	<p>Cast iron gutters with cast iron rain water pipes. Cast iron soil and vent pipe to the left hand side of the two storey part of the building. PVCu waste pipe discharging into a cast iron hopper head serving the surface water disposal to the left hand side of the two storey building. A rain water pipe to the left elevation discharges onto the ground adjacent to the single storey part of the building. PVCu hopper heads and PVCu rain water pipes to the rear flat roof store building. Rain water pipes from the single storey pitched roof to the rear discharge onto the Asphalt flat roof.</p>	<p>Decoration is poor to the rain water goods. Viewed from ground level there are rust stains visible to most joints in the cast iron gutters indicating that the gutters are leaking. However, at the time of the survey it was not raining and this assertion could not be confirmed. There is vegetation growing from the gutters i.e. rear right hand side that should be removed to allow satisfactory surface water disposal and to ensure satisfactory surface water disposal. Rain water pipes are corroded in places to the extent that the pipes have corroded through. There is no birdcage to the top of the soil and vent pipe. Cast iron gutters are unsupported in places. Where surface water discharges onto the ground in proximity of the building it may have an adverse affect on the loadbearing properties of the sub strata that may result in settlement of the building and subsequent cracking. Vegetation growing through the joints in the rain water pipe in proximity of the water street sign. Where rain water pipes discharge onto the Asphalt flat roof this may cause premature failure of the Asphalt through the running water causing wear, it may also cause localised flooding. Surface water visible in the gutters to the rear elevation. It would be prudent to overhaul the rain water good in their entirety to ensure satisfactory surface water disposal and to prevent the ingress of moisture into the building.</p>	15, 22,
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Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description

Defect / Condition

Image

5.00 Main Walls

Although the building was constructed in the 1930's the external leaf of facing brick work has headers visible in what appears to be "Monk" bond indicating that the wall is of solid construction. There are feature reconstructed stone lintels and cills to the window openings with reveals. There is a clock installed in the gable over the front entrance door. There is a flag pole fixed to the wall to the right hand side of the first floor door over the front canopy. There are fan assisted flue outlets projecting from the wall to the left hand side of the main entrance. Concrete block wall to the store to the rear of the passage. There is a single air conditioning condenser unit positioned on the right hand wall of the main building adjacent to the derelict outbuildings. There is a bituminous damp proof course circa 75mm above external ground level to the outside passage.

Given the age of the building it should be built in cavity construction, however the presence of headers indicates otherwise. An intrusive survey should be undertaken of the external walls to ascertain the precise method of construction, identify hidden defects and allow recommendations to be made for remedial work. There is rust staining to walls below windows from the corrosion to the windows. Feature reconstructed stone work appears to have been used in external walls, however good quality cast reconstructed stone has similar appearance to natural stone. There are open joints (to a depth of circa 100mm) with loose and friable mortar between the various elements surrounding the window and door openings. There is loose and friable mortar in places. It is recommended that the building is repointed in its entirety using an appropriate mortar mix to prevent the ingress of moisture into the building. Redundant telephone equipment in place at high level to the left hand elevation. Diagonal cracking in the brick work over the steel gate to the left hand elevation. The concrete lintel over the plywood finished door to the left hand elevation has horizontal cracks through indicating that the steel reinforcement has corroded resulting in spalled concrete. The damp proof course is lower than the normally accepted minimum of 150mm above external ground level, this may encourage rising damp. Bituminous damp proof courses have a tendency to extrude from walls over time reducing the thickness of the bitumen and its effectiveness. Displaced brickwork at low level to the right hand elevation.

7, 9, 11,

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description	Image
<p>6.00 Doors / Windows</p> <p>Windows are steel framed single glazed windows with painted softwood surrounds. Painted double doors with stone canopy over to the front right hand side, the canopy has "Library" inscribed in it. Georgian wired glass to the ground floor windows to the front elevation. There is Perspex installed in front of some windows at ground floor level restricting access for inspection purposes. Painted feature doors and door frames to the main entrance. There is a door finished with painted ply wood to the left hand side of the property between the steel gate and electricity sub station. Secondary glazing to windows at first floor level.</p>	<p>Windows and doors are boarded up to the front of the derelict public conveniences. Decoration is poor to the windows, softwood windows are rotten in places, steel windows have corroded. There is cracked / broken glass throughout the building. The bottom of the Library entrance doors is rotten. The Georgian wired glass is cracked / defective in places. The Perspex to the ground floor windows is discoloured and prevents access for inspection purposes. No access to the painted and glazed door immediately adjacent to the road signage to the left hand side of the property. The ply wood door was not tested for operation, the door is rotten at the bottom.</p>

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description

Defect / Condition

Image

7.00 External Works
There is a brick wall with concrete copings to the top to the right hand side of the subject property which also forms the front elevation of the public conveniences. Painted steel handrail and balustrade to the canopy area over the main entrance door. Steel gate over the passage to the left hand side of the subject property. The Electricity sub station to the rear left hand side is not within the demise of the subject property and as such falls outside the remit of this report. Concrete block paved and tarmac parking area to the rear of the property surrounded with brick walls and masonry walls. Heras security fencing between the rear car park area and the rear yard area to prevent unauthorised access. The rear yard area is overgrown with vegetation. There is a painted steel fire escape stair with painted steel handrail and balustrade affording escape from the first floor Council chamber in the event of fire. Cast in situ ground supported concrete to the external passage. A cast iron inspection chamber cover to the right hand side of the subject property is cracked and as a consequence was not raised for inspection purposes to prevent further damage. A galvanised steel inspection chamber cover was raised to the right hand elevation to reveal clay channels, brick walls and mortar benching.

There is vegetation growing over the front wall / public conveniences, the building and the outbuildings behind are derelict in poor condition and are at the end of there economic life. From my external assessment only of the derelict outbuildings, the cost of repairing / refurbishing the outbuildings would be extortionate and consideration should be given to their demolition to remove safety hazards. The underside of the canopy is stained at the joints. The steel handrail and balustrade and the steel gate to the passage would benefit from being decorated using a proprietary paint system to prevent further deterioration. Your legal advisor should be asked to confirm the precise demise of the property, ownership of boundaries and responsibility for maintenance of boundary treatments. Decoration poor to the steel fire escape stair that has corroded in places. The stairs should be repaired and decorated using a propriety paint system to prevent further corrosion and deterioration of the stairs. Debris / building materials etc should be removed from the rear yard area to allow means of escape in the event of fire. The galvanised steel inspection chamber cover was raised to reveal blocked drains. It would be prudent to have a CCTV survey undertaken of the underground drainage system to identify hidden defects and allow recommendations to be made for remedial work, this may involve relaying the drains to allow for satisfactory drainage.

1, 12, 17, 18,

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description	Defect / Condition	Image
Internal		
<p>8.00 Roof Covering / Structure</p> <p>The roof void was accessed to reveal a steel framework, softwood rafters and purlins and softwood ceiling joists. There is no under slaters felt and no insulation at ceiling joist level. Defective handrails to the walk ways not suitable to sustain lateral loads. Pulley arrangement for the clock visible in the roof void. The flat roof to the rear is thought to be a cast in situ concrete.</p>	<p>Inspection of the roof void from the walkways only. There is no roof void ventilation provision to any of the roof voids, this may allow moisture vapour entering roof voids to condense on cold surfaces which may result in damage being caused to the roof structure. Surface corrosion to the steel work in the roof void. Moisture penetration / staining visible to the hatch in the left hand roof slope.</p>	25, 26,
<p>9.00 Ceilings</p> <p>Painted softwood boarding to the rear store ceiling. Viewed from the roof void the first floor ceilings are lath and plaster.</p>	<p>The softwood boarding is soft in places indicating that it has started to rot. The softwood boarding should be removed to allow the condition of the underside of the flat roof to the ascertained. Lath and plaster ceilings have a tendency to fail without prior warning. Cracks in the first floor ceilings. Suspended ceiling with exposed grid to the ground floor front right hand office. The paint is coming away from the soffit of the sanitary accommodation ceiling.</p>	34, 35,
<p>10.00 Walls</p> <p>Internal walls are a combination of loadbearing masonry and non loadbearing partitions. Timber cladding at low level to walls in places i.e. the Council chamber. Air conditioning unit to the ground floor right hand office wall.</p>	<p>The external store is full of stored materials severely restricting access for inspection purposes, I am unable to comment on the condition of the walls. Horizontal crack to masonry walls at first floor level in proximity of the sanitary accommodation. It is not possible to accurately use an electronic damp meter to check for rising and penetrating damp with timber clad walls. There are cracks through the suspended concrete floor at first floor level. There is evidence of damp penetration to the internal surfaces of external walls. Using an electronic damp meter there are elevated readings indicating penetrating / rising damp.</p>	28, 30, 31,

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description	Defect / Condition	Image
<p>11.00 Floors / Stairs</p> <p>Mosaic finish to the main entrance lobby. Cast in situ concrete floor to the rear store area. There is a fixed ladder at first floor level affording access to the roof void. Cast in situ suspended concrete floor at first floor level. Hardwood block floor at first floor level in places. Stair lift located on the main stairs affording access to the first floor for disabled persons. Hardwood handrail and painted steel balustrade to the first floor stairwell. Terrazzo floor finish to the first floor in places. Stairs from ground to first floors have quarter space landings with hardwood handrail and painted steel balustrade. Tiled floor to the fire escape route at ground floor level leading to the Library entrance doors. The ground floor is a combination of cast in situ ground supported concrete to the two storey part of the building and suspended concrete supported off steel beams over the cellar area. There are steps down to the cellar located under the single storey part of the building with a handrail to one side. Cast in situ ground supported concrete floor to the cellar.</p>	<p>Cracks through the Mosaic to the entrance door with areas missing. The external store is full of stored materials severely restricting access for inspection purposes, I am unable to comment on the condition of the floor. However the concrete is cracked to exposed areas. Floor finishes in place, carpet raised to reveal a suspended concrete floor, there is a void / hole under the carpet circa 1200mm inside the door of the front first floor office. There should be a disabled persons access audit in place for the building. The stairlift was inoperable at the time of my inspection. Cracked floor on the fire escape route behind the Library entrance.</p>	<p>10, 27, 32, 33,</p>
<p>12.00 Internal Woodwork / Doors</p> <p>Varnished softwood skirtings and architraves with feature internal doors that have self closing devices installed. Glass in glazed partitions at first floor level. Board material to the back of doors in proximity of the Police accommodation at first floor level.</p>	<p>There should be a Fire Risk Assessment in place for the building which may require strategically placed fire doors to be installed. The glass in glazed partitions at first floor level does not appear to be safety glass. The board material may contain traces of asbestos. There is no ventilation provision to the reception office, in contravention of the Building Regulations.</p>	<p>29,</p>

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

Element / Description	Defect / Condition	Image
<p>13.00 Sanitary Accommodation Sanitary accommodation at first floor level contains a water closet and wash hand basin with water heater. At ground floor level the male sanitary accommodation contains a urinal, wash hand basin and water closet. Female sanitary accommodation and disabled persons sanitary accommodation containing a water closet and wash hand basin.</p>	<p>Appliances tested for operation, the ground floor urinal is out of order.</p>	
<p>14.00 Kitchen There is a range of kitchen units at first floor level with stainless steel sink and Formica work top. Kitchen sat ground floor level contains a range of kitchen units with Formica work tops.</p>	<p>No appliances tested for operation.</p>	
<p>Services 15.00 Electrical Installation Electrical distribution board with RCCD's installed.</p>	<p>A suitably qualified and experienced electrical contractor should be employed to undertake a periodic test implementing any necessary remedial work.</p>	
<p>16.00 Fire Detection and Alarm Automatic fire detection and emergency lighting installed.</p>	<p>Emergency lighting and fire detection system should be checked by a suitably competent person on a regular basis and the results included in the Fire Risk Assessment.</p>	
<p>17.00 Gas / Heating Installation Wall mounted electrical powered water heater to the sanitary accommodation. There are two wall mounted Keston combination boilers to the cellar with separate expansion vessel and fan assisted flue outlets.</p>	<p>A suitably qualified and experienced heating engineer should be employed to undertake an annual safety check on all heating appliances implementing any necessary remedial work. If the incoming water main or any water distribution pipe work is found to be lead it would be prudent to change it for a more suitable material i.e. MDPE.</p>	<p>36,</p>

Warsop Town Hall, Church Street, Warsop, NG20 0AL.

18.00 Conclusion

The property is suffering from a general lack of maintenance with leaking gutters, poor pointing, derelict out buildings to the right hand side and effective drainage, a full scheme of repair, refurbishment and upgrading works should be implemented to bring the property up to an acceptable standard.

Roof void ventilation should be introduced into the roof structure and the roof covering overhauled in its entirety including flashings, flashing's, flat roofs, roof lantern and rain water goods to ensure satisfactory surface water disposal and to prevent the ingress of moisture into the building.

There a number of cracks throughout the walls of the building, these should be monitored to ascertain their status i.e. historic or ongoing and requiring remedial work. Walls should be repointed throughout using appropriate mortar mix to prevent the ingress of moisture into the building.

All external doors and windows should be repaired / replaced / overhauled as appropriate and finished with a proprietary paint system to prevent further deterioration.

An intrusive survey should be undertaken on the ground floor construction and the extent of each different types of floor ascertained so that any hidden defects may be identified and recommendations made for remedial work.

A suitably qualified and experienced electrical contractor should be employed to undertake a periodic test and implement any necessary remedial work to the electrical system.

A suitably qualified and experienced heating engineer should be employed to undertake an annual safety check on all heating appliances implementing any necessary remedial work

If the incoming water main or any water distribution pipe work is found to be lead it would be prudent to change it for a more suitable material i.e. MDPE.

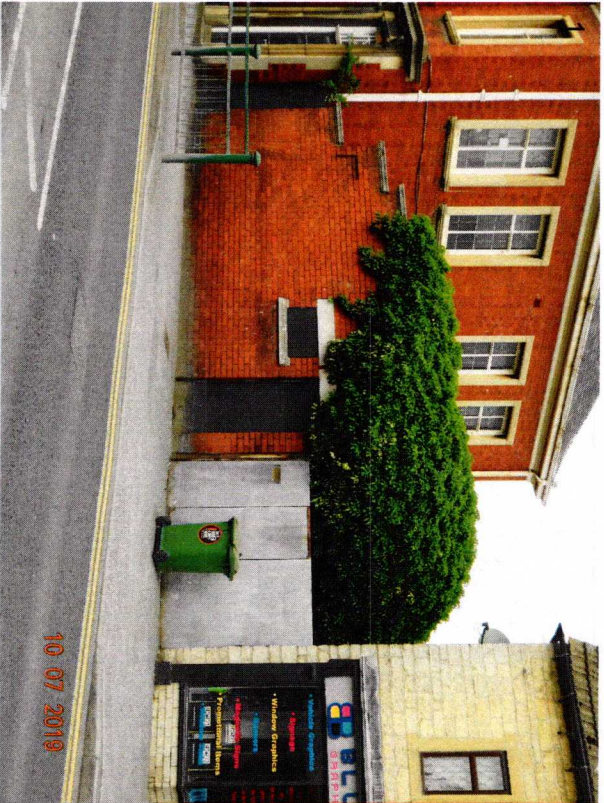
The building has reinforced concrete floors, flat roofs etc, the condition of these elements in a building in excess of 86 years old causes concern, further intrusive investigation should be undertaken of these elements to identify any hidden defects.

The building should have a Fire Risk Assessment, Disabled Persons Access Audit, and Asbestos register to comply with current standards.

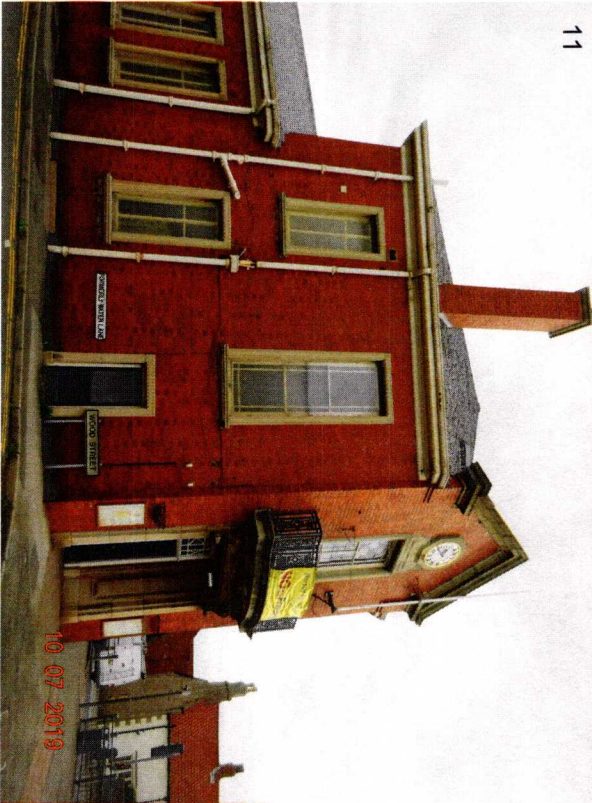
It would be prudent to have a CCTV survey undertaken of the underground drainage system to identify hidden defects and allow recommendations to be made for remedial work, this may involve relaying the drains to allow for satisfactory drainage.


Gary Fountain

Appendix A - Photographs







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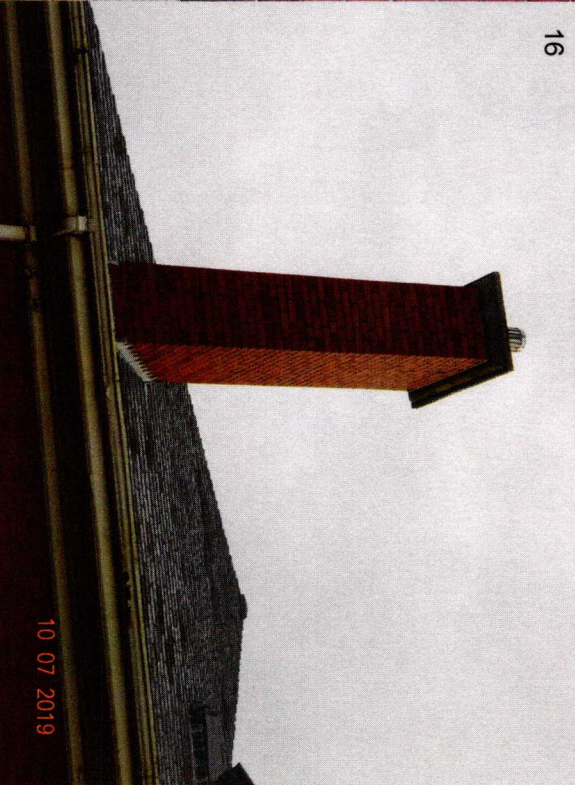
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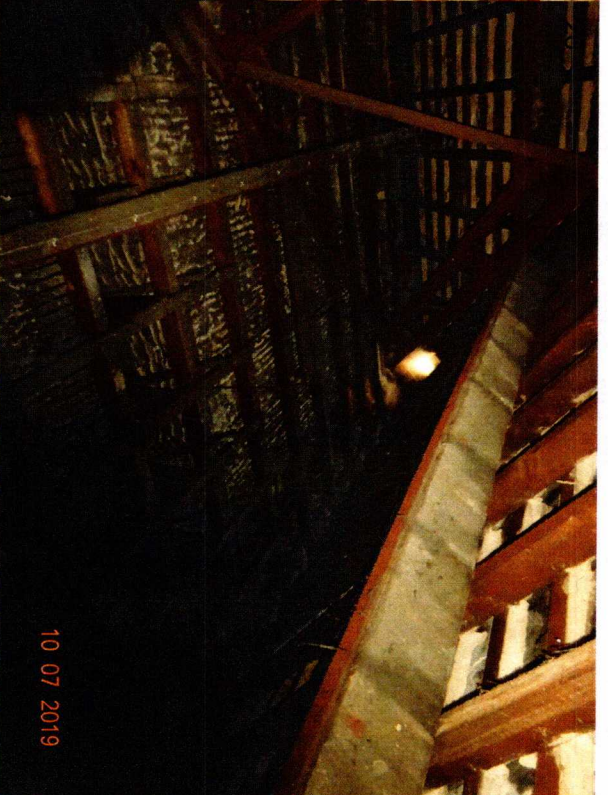
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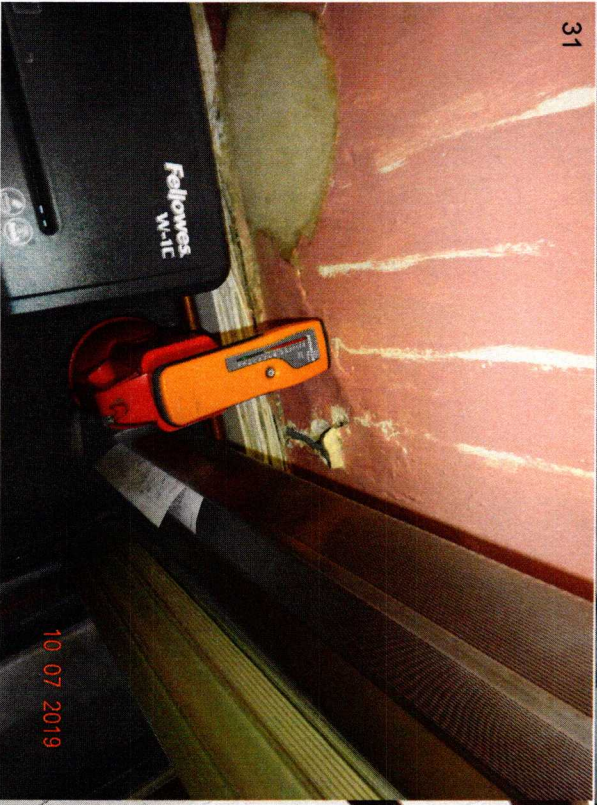


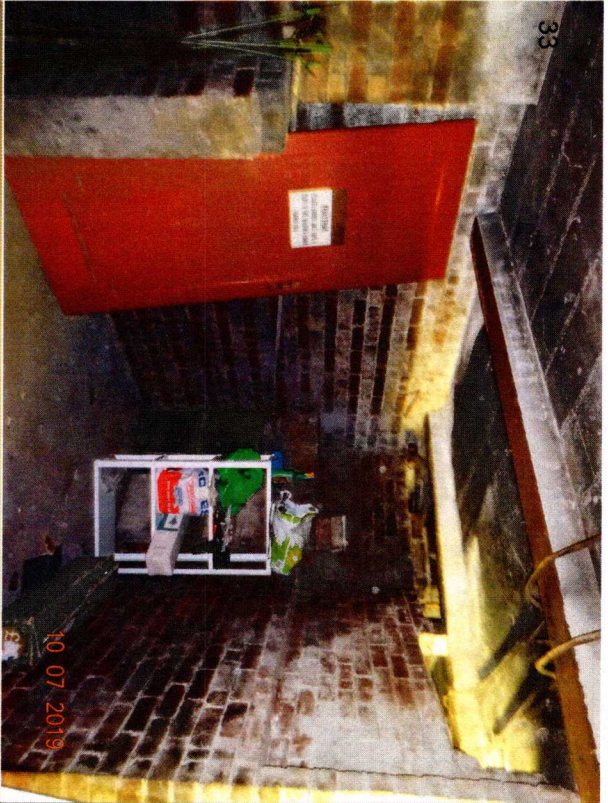
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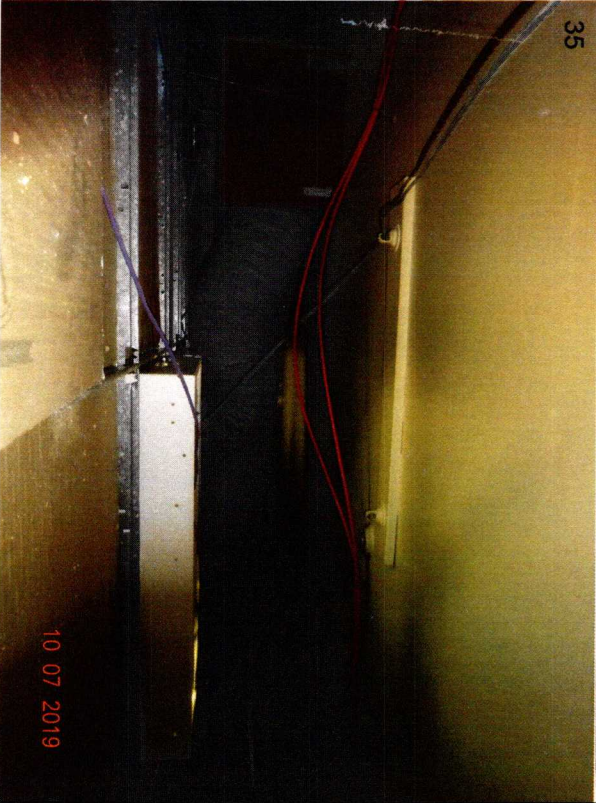






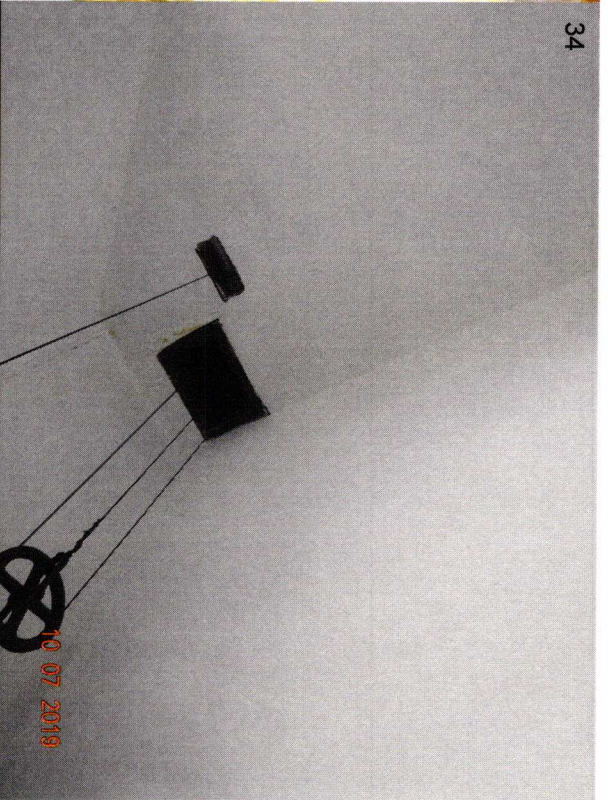
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10 07 2019

Appendix B – Planned Maintenance Programme

Warsop Town Hall, Church Street, Warsop, NG20 0AL

Planned Maintenance Programme

Work	Years					Total
	1	2	3	4	5	
Scaffold Access	£30,000.00				£10,000.00	£40,000.00
Pitched roof repairs	£5,000.00					£5,000.00
Flat roof repairs	£25,000.00					£25,000.00
Gutter repairs & decoration	£20,000.00					£20,000.00
Window / door repairs	£25,000.00				£10,000.00	£35,000.00
Repairs & decoration to fire escape	£3,000.00				£500.00	£3,500.00
External decoration	£13,000.00				£3,000.00	£16,000.00
Replace defective drainage	£7,500.00					£7,500.00
Demolish dilapidated outbuildings					£10,000.00	£10,000.00
Internal decoration		£10,000.00				£10,000.00
Emergency lighting maintenance	£750.00	£750.00	£750.00	£750.00	£750.00	£3,750.00
Fire alarm maintenance	£750.00	£750.00	£750.00	£750.00	£750.00	£3,750.00
Electrical installation maintenance inc nominal repairs	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£5,000.00
Heating installation maintenance inc nominal repairs	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£1,000.00	£5,000.00
Drick pointing & repairs	£13,000.00					
Total	£147,000.00	£23,500.00	£3,500.00	£3,500.00	£37,000.00	£214,500.00